



# City of Castle Pines, Colorado

## PLANNING COMMISSION AGENDA

Thursday, February 27, 2020

Mayor  
Tera Radloff

City Clerk  
Tobi Basile

City Council

District 1  
Melissa Coudeyras  
Deborah Mulvey

District 2  
Kevin Rants  
Ben Price

District 3  
Tracy Engerman  
Roger Hudson

### 1. CALL TO ORDER

### 2. ROLL CALL

### 3. PLEDGE OF ALLEGIANCE

### 4. APPROVAL OF AGENDA

### 5. DISCLOSURE OF CONFLICTS OF INTEREST AS TO ANY ITEM ON THE AGENDA

### 6. PLANNING COMMISSION - ACTION ITEMS

- 6.a. Approval of the January 23, 2020 Planning Commission Meeting Minutes  
[2019-01-23 Planning Commission Minutes DRAFT.docx](#)
- 6.b. 2020 Election of Officers
- 6.c. PUBLIC MEETING: The Canyons Well House Location and Extent, Case No. LE10-001  
[Staff Report The Canyons Well House.pdf](#)
- 6.d. PUBLIC HEARING: Amending Section 30 -- Lighting Standards of the City of Castle Pines Zoning Ordinance [Public Hearing will be continued to April 23, 2020]  
[Zoning Ord Sec 30 Draft.doc](#)

### 7. PLANNING COMMISSION - DISCUSSION ITEMS

- 7.a. Amending Section 30 -- Lighting Standards of the City of Castle Pines Zoning Ordinance
- 7.b. Friendly Reminder: Joint Meeting with City Council on Tuesday, March 3, 2020 at 5:30 p.m.
- 7.c. Agenda Item Requests
- 7.d. No Regularly Scheduled March Meeting



# City of Castle Pines, Colorado

## **8.ADJOURNMENT**

City Council Meetings are held on the second and fourth Tuesday of each month at the Douglas County Library, 360 Village Square Lane, Castle Pines, CO 80108. Please call City Offices, (303) 705-0210 a minimum 48 hours prior to the Council meeting if you believe you will need special assistance or any reasonable accommodation to be in attendance or participate in any such meeting.

**THIS AGENDA IS SUBJECT TO CHANGE**



# City of Castle Pines, Colorado Minutes

## REGULAR MEETING OF THE PLANNING COMMISSION & BOARD OF ADJUSTMENT Douglas County Library, 360 Village Square Lane, Castle Pines, CO 80108 Thursday, January 23, 2020 - 6:00 PM

Planning  
Commission/  
Board of Adjustment

David Goode  
Chair

Andrew Hendel  
Chair Pro Tem

Lisa Glynn

Seth Katz

Leanna Palmer

Michelle Wiley

Don Tosby

### 1. ROLL CALL

The regular meeting of the Planning Commission of the City of Castle Pines, Colorado, was called to order by Commissioner Hendel at 6:00 p.m.

**Those present were:** Commissioner David Goode  
Commissioner Don Tosby  
Commissioner Leanna Palmer  
Commissioner Seth Katz  
Commissioner Michelle Wiley  
Commissioner Lisa Glynn  
Commissioner Andrew Hendel

**Also present with the Commission:**  
Sam Bishop, Community Development Director  
Emily Prueitt, Administrative Assistant

### 2. PLEDGE OF ALLEGIANCE

- Commissioner David Goode led the Pledge of Allegiance.

### 3. APPROVAL OF AGENDA

**Motion:** A motion was made by Commissioner Wiley to approve the January 23, 2020 Planning Commission Agenda as presented. Commissioner Katz seconded. Motion approved by unanimous consent.

### 4. DISCLOSURE OF CONFLICTS OF INTEREST AS TO ANY ITEM ON THE AGENDA

- No disclosures of conflicts were submitted.

### 5. PLANNING COMMISSION – ACTION ITEMS

#### a. Approval of the December 5, 2019 Planning Commission Minutes

**Motion:** A motion was made by Commissioner Goode to approve the December 5, 2019 Planning Commission Minutes as presented. Commissioner Wiley seconded. Motion approved by unanimous consent.

#### b. PUBLIC HEARING: Amending Section 30 – Lighting Standards of the City of Castle Pines Zoning Ordinance [Public Hearing will be continued to February 27, 2020)

- Chairperson Goode opened the Public Hearing at 6:06 p.m.
- Sam Bishop, Community Development Director, stated that staff felt it would be more beneficial to move the public hearing on the proposed amendment to a later date, adding that doing so would allow for a more in-depth presentation of the proposed amended standards by home builders.
- Chairperson Goode closed the Public Hearing at 6:08 p.m.



**Motion:** Commissioner Tosby moved to continue the public hearing amending Section 30, lighting standards of the City of Castle Pines Zoning Ordinance to the February 27, 2020 Planning Commission meeting at 6:00pm. Commissioner Wiley seconded. Motion approved by unanimous consent.

**6. PLANNING COMMISSION – Discussion Items**

- Sam Bishop recognized Leanna Palmer, the new Commissioner, and had the Commission introduce themselves.
- Sam Bishop highlighted the new iLegislate software as the City moves to an electronic dispersal of meeting packets and materials.
- The Commission was encouraged to consider their nominations for appointments to Chair and Chair Pro Tem positions, as those will be voted on at the next meeting.
- Next meeting is February 27, 2020.

**6. ADJOURNMENT OF REGULAR MEETING**

**Motion:** A motion was made by Commissioner Palmer to adjourn the meeting at 6:42 p.m. Commissioner Glynn seconded. Motion approved by unanimous consent.

**RESPECTFULLY SUBMITTED:**

**APPROVED:**

\_\_\_\_\_  
Emily Prueitt, Administrative Assistant

\_\_\_\_\_  
David Goode, Chairperson



**PROJECT NAME:** The Canyons Well House  
Location and Extent, Case No. LE19-001

**PROJECT LOCATION:** The Canyons Well House, 2.94 acres, does not have an address; however, the site is generally located in the northern central portion of The Canyons Planned Development in Open Space J; adjacent to Rueter-Hess Reservoir.

**PROPERTY OWNER:** Shea Canyons, LLC  
9380 Station Street, Suite 600  
Lone Tree, CO 80124

**APPLICANT:** Parker Water and Sanitation District  
18100 E Woodman Dr  
Parker, CO 80314

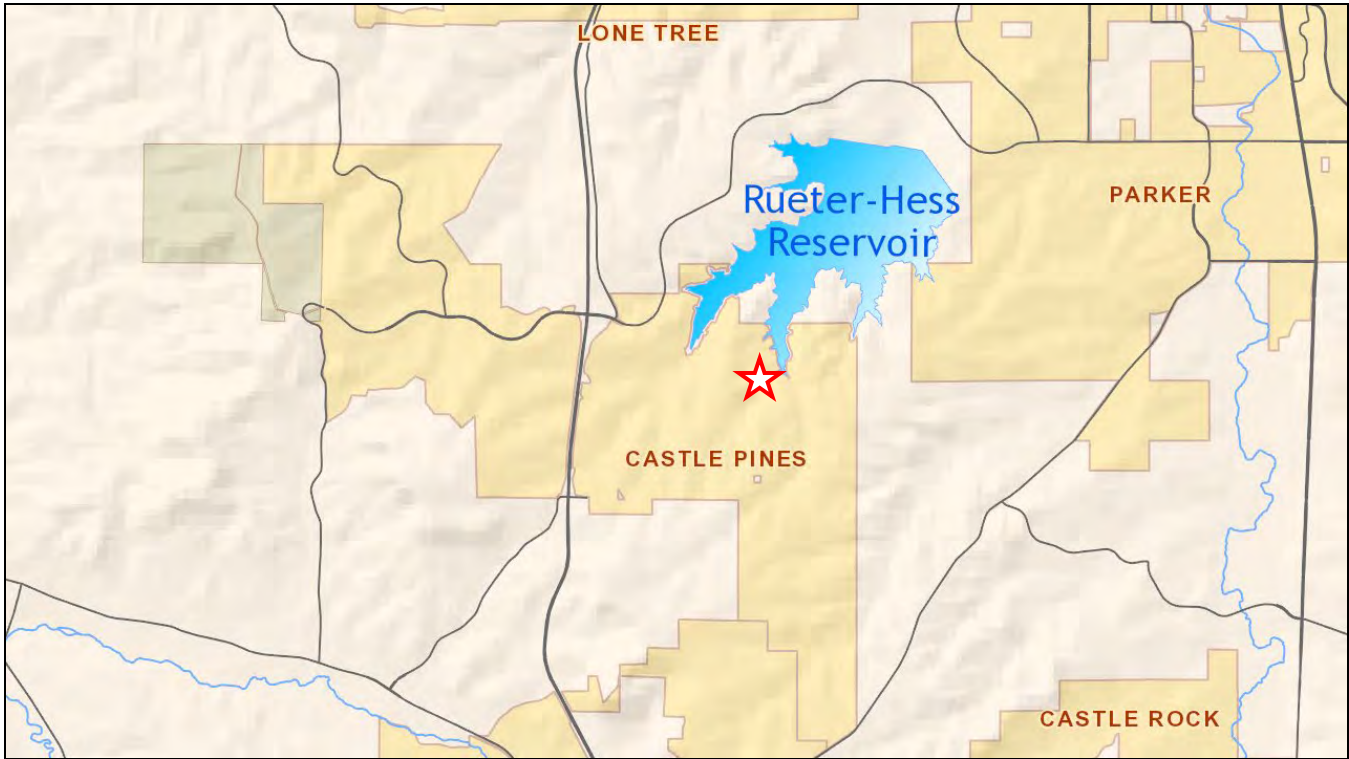
**PROJECT DESCRIPTION:** The Applicant requests approval of a Location and Extent plan to allow for the construction of new pump house facility known as The Canyons Well House. The well house will be capable of treating and pumping up to five million gallons of groundwater per day from the Denver, Dawson, and Arapahoe aquifers. The facility will provide finished drinking water for Parker Water and Sanitation District and their customers within the Canyons Development. The facility is approximately 7,000 square feet, has an average building height of 22 feet (29.6 feet at highest point) and will be earth tone in color.

**STAFF RECOMMENDATION:** Approval with Conditions

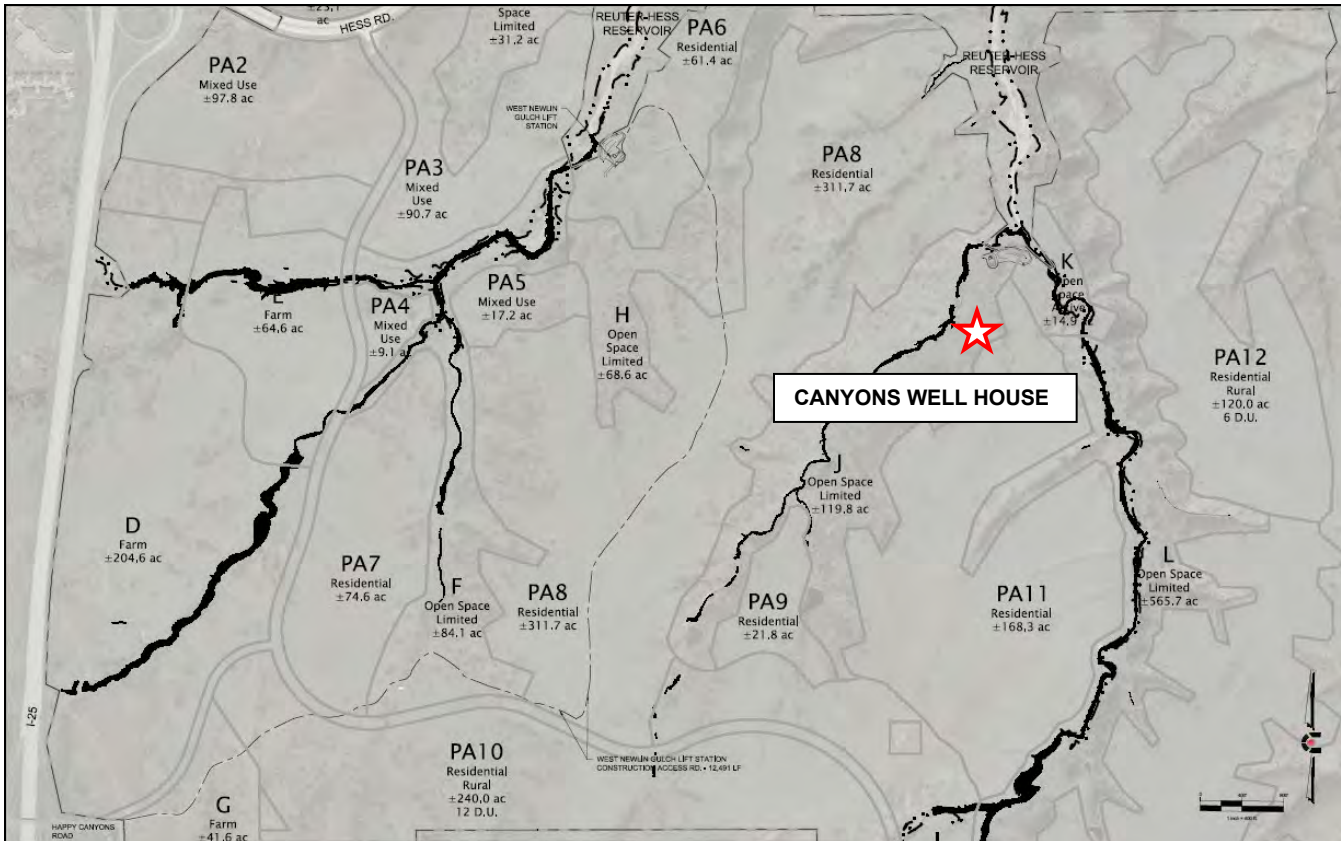
**REPORT DATE:** February 21, 2020

**PLANNING COMMISSION MEETING DATE:** February 28, 2020

**VICINITY MAP:**



**AERIAL PHOTO SUPERIMPOSED ON THE CANYONS PLANNING AREAS:**

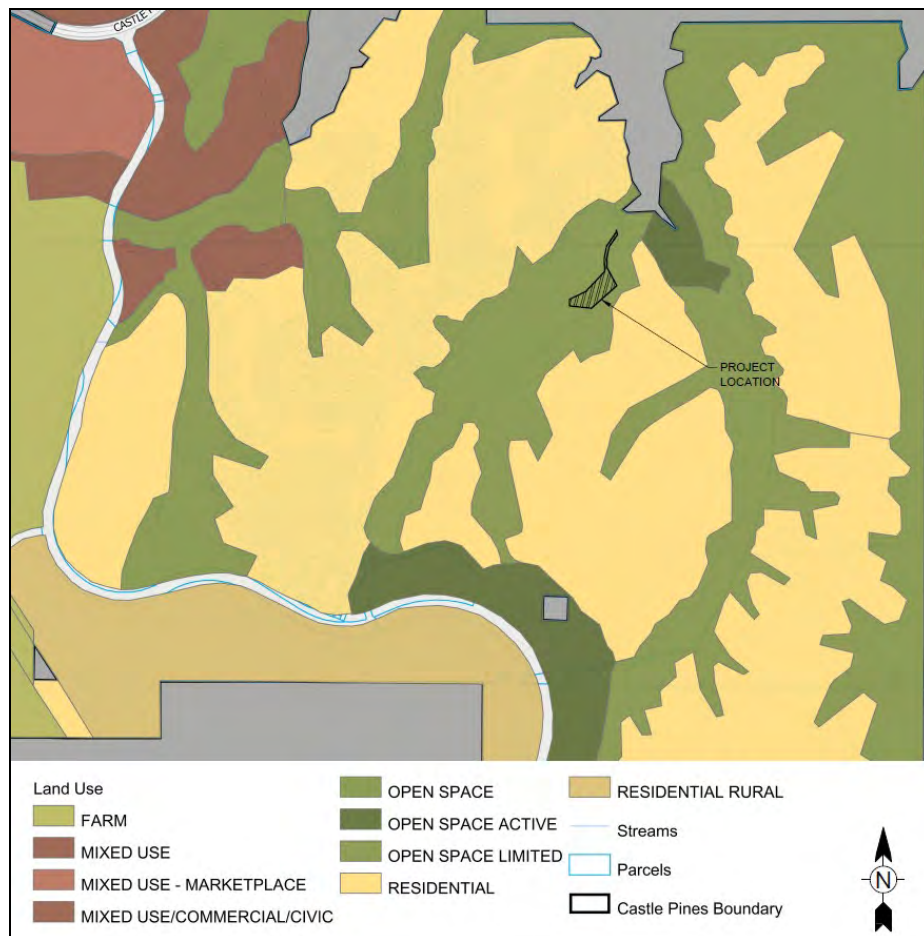


**EXECUTIVE SUMMARY:**

Parker Water Sanitation District (PWSD), as applicant and representative, submitted Location and Extent (L&E) plans for review and subsequent consideration by the Planning Commission. Section 32, Location and Extent, of the City of Castle Pines Zoning Ordinance references the Colorado Revised Statutes (C.R.S.) Section 31-23-209, which sets forth the processing and procedural requirements for Location and Extent applications. The Planning Commission is required by State Statute to review and act within sixty (60) days and approve, conditionally approve, table for further study, or deny construction of, or plans for the construction of any road, park, or other public way, ground, or space, public building or structure, or **public utility**, whether publicly or privately owned prior to the authorization or construction of any such areas or facilities. In accordance with State Statutes, the application has been scheduled for consideration by the Planning Commission within the required time frame.

The City of Castle Pines role is to ensure the proposed facility is processed in accordance with and meets the general requirements of Section 32, Location and Extent, of the City of Castle Pines Zoning Ordinance.

PWSD, requests approval of a well house that will be capable of treating and pumping up to five million gallons of groundwater per day from the Denver, Dawson, and Arapahoe aquifers. The well house facility will be located in Open Space J of The Canyons Planned Development, as shown on the following exhibit.



Open Space J permits for ‘Minor Utility Facilities’ as a principal land use. The definition of Minor Utility Facilities includes water pumping stations less than 10,000 square feet in size (the facility, not the total site area). The facility will provide finished drinking water for Parker Water and Sanitation District and their customers within the Canyons Development. The facility will include three groundwater wells, the well house facility, associated piping, electrical improvements, driveway and stormwater pond.

According to PWSD, the well house will pump groundwater inside the facility, the raw water will then be treated with “SeaQuest”, a phosphate blend used to control iron and manganese levels, and Sodium Hypochlorite as primary disinfection. The treated water will be transported to a below-grade disinfection contact basin. As outlined in PWSD Project Summary, attached hereto as Exhibit A(i), additional time and chemicals are added to compete to disinfection process. Subsequent to disinfection, four pumps will pump the treated water to an existing distribution line for the PWSD system and Canyons community.

The overall site area is 127,849 square feet (sq. ft.), or 2.94 acres, and contained within an easement dedicated by Shea Homes to PWSD. The overall site area includes the well house facility at 7,207 sq. ft., access drive, concrete utility/generator pads, detention pond, gravel access pad and snow storage areas. The facility will have a maximum height of 29 feet 6 inches, with an average height of 22 feet as calculated by the International Building Code building height methodology. Open Space planning areas have permit for a maximum of 35 feet building height limit. The structure will be constructed out of a combination of pre-cast concrete panels, CMU, metal fascia, standing seam metal roof, and four windows. The facility has a 12 x 4 roof pitch with additional roof truss architectural features and overdoor canopies. The overall building and apparatuses are earth tone in color. The facility and above grade utilities will be fully enclosed with a 6-foot-high black ornamental fence. Access to the site will provided from Skygazer Street, via a new 20-foot-wide access drive.

The site will sit at a lower elevation than future residential development and the extension of Skygazer Street. The site will be vegetated and stabilized with native grasses and contain some landscape stone. No immediate on-site landscaping is proposed. However, as future residential development occurs, the extent and location of future landscaping will be determined by the property owner, Shea Homes.

## **STAFF ANALYSIS OF APPLICABLE REGULATIONS:**

### **Location and Extent Approval Criteria**

The review of Location and Extent plan applications requires that Planning Commission review and approve construction of, or plans for the construction of any road, park, or other public way, ground, or space, public building or structure, or public utility, whether publicly or privately owned prior to the authorization or construction of any such areas or facilities.

Section 32, Location and Extent, of the City of Castle Pines Zoning Ordinance requires that the applicant submit the following reports and completely address the following items. Staff has identified each of the required reports and supporting materials followed by a response (in *italics*). However, it is the responsibility of the applicant to justify the request of the Location and Extent.



**§ 3205 Development Report:**

**3205.01 A Phase III Drainage Report in accordance with the requirements of the City of Castle Pines Storm Drainage and Design and Technical Criteria Manual, as required**

*A Phase III Drainage Report, dated December 2019, was submitted with The Canyons Well House application that addresses site drainage and water quality issues. The reports were reviewed and approved by the City's professional civil engineering consultant.*

**3205.02 A narrative or traffic study describing the transportation network establishing the availability and adequacy of the system in accordance with the Douglas County Roadway Design and Construction Standards, as required**

*A Traffic Impact Analysis (TIA) was waived as part of the Location and Extent submittal. The well house will have negligible impacts on the original findings of the approved 2009 Canyons Traffic Impact Analysis.*

**3205.03 A guarantee of public improvements, such as dedication of rights-of-way, sidewalk construction, etc., as required.**

*There are no public improvements associated with these L&E applications. The well house will be owned, operated and maintained by the Parker Water and Sanitation District.*

**3205.04 Additional information may be requested by the staff as appropriate to the request, and information required above may be waived by the Planning Director, when deemed to be inappropriate.**

*Staff did not request additional information above the submittal requirements for L&E applications.*

**3205.05 A narrative describing the purpose of the improvements, the range of impacts, and these impacts are addressed**

*The applicant submitted Project Narrative outlining the intent of the project, potential impacts and how the impacts will be mitigated. The Development Report is attached hereto in Exhibit A(i).*

**STAFF RECOMMENDATION:**

Based upon findings herein, Staff recommends that Planning Commission approve The Canyons Well House Location and Extent, Case No. LE19-001, subject to the recommended conditions of approval.

**SUGGESTED MOTION FOR APPROVAL:**

I move to approve The Canyons Well House Location and Extent, Case No. LE19-001, subject to the following conditions of approval found in the Staff Report, dated February 21, 2020:

1. The applicant shall pay ALL fees and costs incurred by the City and its consultants, in review and processing of the L&E application; AND

2. The applicant shall resolve/correct any minor technical issues as directed by staff prior to filing a final Location and Extent Plan with the City; AND
3. *[Planning Commission may identify additional approval criteria]*

**SUGGESTED MOTION FOR DENIAL:**

I move that The Canyons Well House Location and Extent, Case No. LE19-001, be denied based on the following findings:

1. The L&E application *does not* achieve the intent and general requirements as set forth in Section 32—Location and Extent of the City of Castle Pines Zoning Ordinance in that: (identify specific goals or criteria not met by the application);

**EXHIBITS:**

- Exhibit A: The Canyons Well House Application Materials
- i. Development Report
  - ii. Location and Extent Plan Exhibit
  - iii. Color and Material Board

**Exhibit A(i): The Canyons Well House Development Report**

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<b>To:</b>	Sam Bishop, Community Development Director, City of Castle Pines Travis Seawards, City Planner, City of Castle Pines
<b>cc:</b>	Jenna Barker, PE, PWSD
<b>From:</b>	Michael Saxton, PE, Tetra Tech
<b>Date:</b>	12/3/2019
<b>Subject:</b>	Parker Water and Sanitation District   Canyons Well House Design   Project Narrative

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### Project Summary

Parker Water and Sanitation District (PWSD) is proposing to construct a groundwater well house that will be capable of treating and pumping up to five million gallons of groundwater per day from the Denver, Dawson, and Arapahoe aquifers. It will provide finished drinking water for Parker Water and Sanitation District and their customers within the Canyons Development. The facility will include the three groundwater wells, the well house facility, associated piping, electrical improvements, driveway and stormwater pond.

Inside the well house, raw water will be treated with SeaQuest, a phosphate blend used to control iron and manganese levels, and Sodium Hypochlorite as primary disinfection. Water will then flow to a below-grade disinfection contact basin to provide contact time for disinfection. A liquid ammonium sulfate (LAS) basin will provide a feed of LAS and sufficient mixing as a residual disinfection method. A series of four high service pumps will then pump water to an existing distribution line for the PWSD system and Canyons community. In addition to the process equipment required for treatment, sufficient chemical storage will also be provided within the facility.

The project is proposed in Lot 1, Block 12 of the proposed Canyons community. The site is located within an easement that is approximately 2.9 acres. The site is located east of I-25 and south of the Reuter-Hess Reservoir. Access to the site will be provided from Skygazer Street, via a new access point along the road. See **Sheet 1** of the attached drawings for the general location of the site.

Development on the site is proposed to include:

- The main well house facility building
- A detention pond to control environmental flows
- Groundwater wells (existing)
- Driveway

The general layout of the project on the site can be seen in **Sheet 2** of the attached drawings.

### Landowner

Shea Canyons, LLC  
1805 Shea Center Drive, Suite 450  
Highlands Ranch, CO 80129

### Developer/Easement Holder

Parker Water and Sanitation District  
18100 East Woodman Drive  
Parker, CO 80314  
1805 Shea Center Drive, Suite 450

Highlands Ranch, CO 80129

### [Firm Preparing SIP](#)

Tetra Tech, Inc.  
1560 Broadway, Suite 1400  
Denver, CO 80202  
Parker, CO 80314

### [Parcel Information](#)

Subdivision Name: The Canyons Community  
Filing Number: Filing No. 1  
Street Address (temporary): 749 E. Happy Canyon Rd, Castle Pines, CO 80108  
Section, Township and Range: NW1/4 S12-T7S-R67W  
State Parcel Number (SPN): 2351-111-14-001/2351-123-01-004

### [Zoning Information](#)

The current zoning of the site is Planned Development. The site located within a Mixed-use community as designated by the 2016 Comprehensive Plan.

The properties to the north, south, east, and west, are all currently zoned as Planned Development and are currently undeveloped. The lot is backed by planned housing as a part of the planned Canyons community.

### [Source of Water/Sanitation Facilities](#)

Water and sanitation services will be provided by PWSD and will be provided via the water produced through the well house.

### [Overall Impacts to Adjacent Land](#)

The project has been designed so that the resulting hardscape and landscape will be in line with the surrounding community as it is built. The proposed use of the site fits within the Mixed-Use community designation laid out by the Castle Pines Comprehensive Plan.

To the north and northwest of the well house will be the edge of the proposed Canyons community. These lots are located on the northwestern side of the Mesa Tributary. The well house is located on the side of a ridge along Newlin Gulch. This physical separation from the housing lots will shield the facility from direct view.

The architecture of the building is designed to fit in with the character of the Canyons community and not distract from the visual aesthetics of the neighborhood. The color elements will match the recently completed Newlin Gulch Lift Station. **Sheets 4-6** show 3D renderings of the well house and the materials it will be constructed with. The building exterior will be consistent with the requirements of the Mixed-Use Design Guide.

The proposed facility is unmanned and will generate limited noise as all equipment, excepting the HVAC system and emergency generator, will be located inside the well house facility. The emergency generator will only be required for use during power loss scenarios and will be housed in a sound dampening enclosure.

All exterior lighting will be dark sky compliant.

There will be minimal impacts to the traffic along Skygazer Street as only PWSD employees will require access to the site for an anticipated two (2) trips per day and there will be no pedestrian access.

The equipment will be programmed to run automatically allowing for the facility to be unmanned. PWSD will require up to two (2) trips per day for operational maintenance.

The new wellhouse building has been designed with elements to respect the residential nature of the surrounding future housing developments while still meeting the requirements of an industrial building to be durable, functional and low maintenance over the long life of the facility. The building exterior reflects a rural agricultural look with a gabled roof broken up with additional dormers that vary in size to reduce the scale of the overall building. The exterior walls include a mix of three textures and colors with patterns that break up the wall façade lengths both horizontally and vertically. The exterior of the building will be constructed of pre-cast concrete panels that have a cast finished face that mimics the size and pattern of masonry units with a cast color and texture that also will match a masonry block. The roof dormers will have a vertical standing seam metal siding with 'truss' detail accents to bring in the 'farmhouse' style. Additional similar detail elements will include longer roof overhangs supported by roof eave brackets and canopies over the doors. The roof will be a pre-finished standing seam metal panel. Windows into the facility are minimized but are provided to allow for some natural light as well as to break up the facades of the building. All colors have been chosen to provide a muted earth tone finish that blend into the surrounding areas and respect the neighboring environment. These colors have been coordinated with Ridgegate DRC to match the recently constructed Newlin Gulch Lift Station.

### Development Schedule

To meet increasing water demand, PWSD plans on beginning operation of the well houses by July of 2020. It is the intent to begin construction as soon as practical. If the early grading can begin in January, the project is anticipated to be completed in October 2020.

The wells were drilled earlier this year and are currently undergoing capacity testing and water quality analysis. Upon completion of this work, it is anticipated that work on the well house will begin.

### Compliance with Regulatory Guidance/Regulations

The proposed project will be designed in accordance with all relevant Douglas County regulations and the Castle Pines Comprehensive Plan. The proposed project is located within the proposed Canyons community in a mixed-use community. The project will therefore prescribe to all required design elements as laid out in the Mixed-Use Design Guide provided by Castle Pines.

**Exhibit A(ii): The Canyons Well House Location and Extent Plan Exhibit**

# CANYONS WELL HOUSE

## THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND FILING NO. 2, PARCEL 10

### 2.935 ACRES

### LOCATION AND EXTENT - CASE NO. LE19-001

A PORTION OF LOT 1, BLOCK 12, THE CANYONS FILING NO. 1 AND PARCEL 10, THE CANYONS SUPER BLOCK PLAT FILING NO. 2, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

#### LEGAL DESCRIPTION:

A PORTION OF LOT 1, BLOCK 12, THE CANYONS FILING NO. 1, RECORDED AT RECEPTION NO. 2018071777, AND PARCEL 10, THE CANYONS SUPER BLOCK PLAT FILING NO. 2, RECORDED AT RECEPTION NO. 2018040799, IN THE RECORDS OF THE DOUGLAS COUNTY, COLORADO CLERK AND RECORDER'S, OFFICE, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1, AND THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CASTLE PINES, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BASIS OF BEARINGS:** THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SAID SECTION 12, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, AND IS ASSUMED TO BEAR NORTH 89° 55' 16" EAST.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 12;

THENCE SOUTH 89°53'01" EAST, A DISTANCE OF 1,455.20 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 34°31'57" EAST, A DISTANCE OF 193.53 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 42.99 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 16°58'42" EAST;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°40'29", AN ARC LENGTH 16.26 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 274.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 81°23'36" WEST TO THE WESTERLY RIGHT-OF-WAY OF SKYGAZER STREET AS RECORDED UNDER RECEPTION NO. 2018071777, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05°04'22", AN ARC LENGTH OF 24.26 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 34°31'57" WEST, A DISTANCE OF 176.40 FEET;

THENCE SOUTH 10°24'20" WEST, A DISTANCE OF 143.52 FEET TO THE EASTERLY BOUNDARY OF SAID LOT 1, BLOCK 12;

THENCE ALONG SAID EASTERLY BOUNDARY THE FOLLOWING THREE (3) COURSES;

1. SOUTH 01°23'15" EAST, A DISTANCE OF 104.77 FEET;
2. SOUTH 28°27'27" EAST, A DISTANCE OF 244.45 FEET;
3. SOUTH 48°22'53" WEST, A DISTANCE OF 404.09 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY, NORTH 84°07'09" WEST, A DISTANCE OF 263.87 FEET;

THENCE NORTH 01°05'42" EAST, A DISTANCE OF 78.93 FEET;

THENCE NORTH 64°18'18" EAST, A DISTANCE OF 214.30 FEET;

THENCE NORTH 43°27'33" EAST, A DISTANCE OF 326.55 FEET;

THENCE NORTH 01°23'15" WEST, A DISTANCE OF 154.55 FEET;

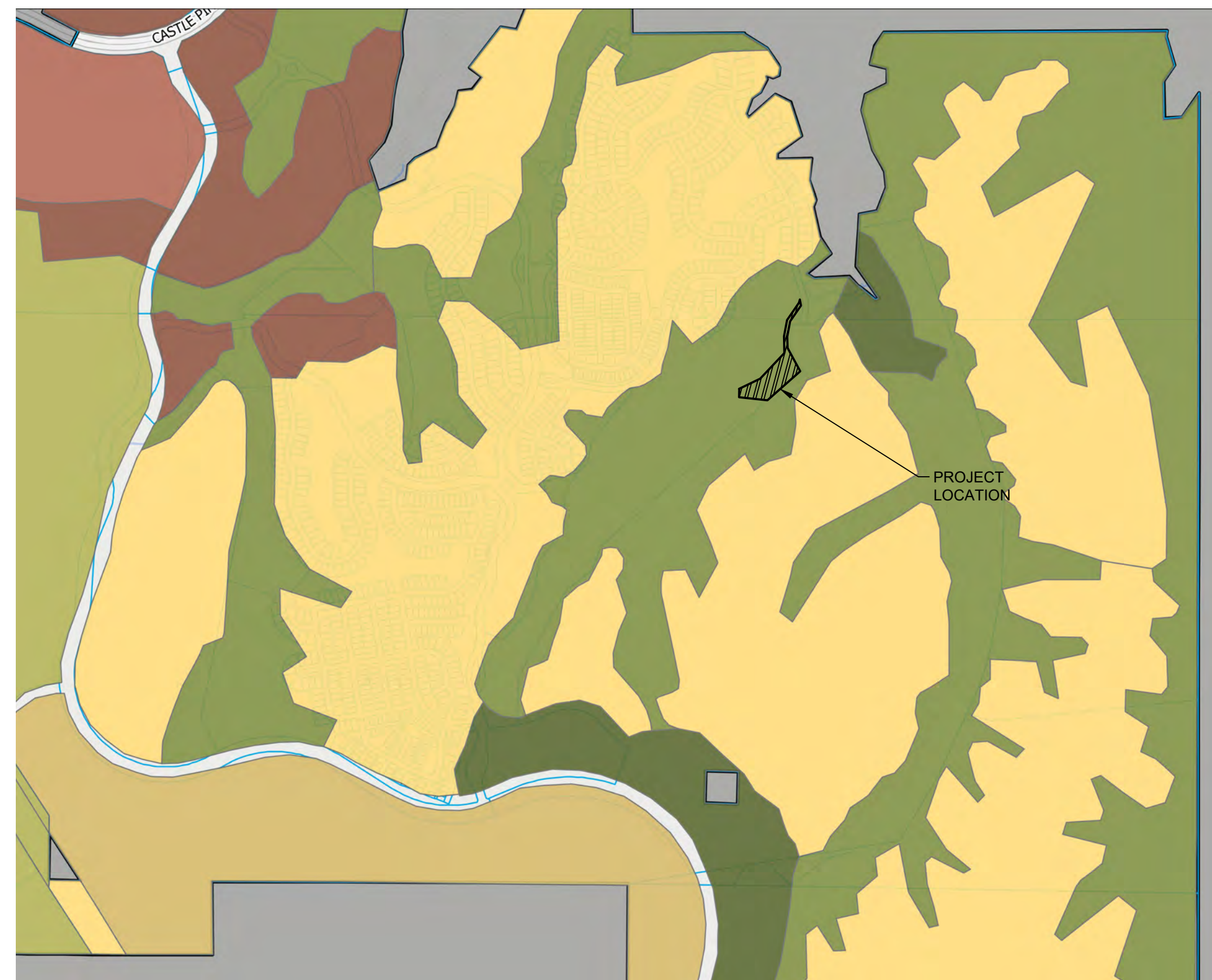
THENCE NORTH 10°24'20" EAST A DISTANCE OF 153.03 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 2.935 ACRES (127,852 SQUARE FEET), MORE OR LESS.

#### VICINITY MAP



#### PLANNED DEVELOPMENT LAND USE MAP



<b>Land Use</b>	<b>OPEN SPACE</b>	<b>RESIDENTIAL RURAL</b>
FARM	OPEN SPACE ACTIVE	Streams
MIXED USE	OPEN SPACE LIMITED	Parcels
MIXED USE - MARKETPLACE	RESIDENTIAL	Castle Pines Boundary
MIXED USE/COMMERCIAL/CIVIC		

Sheet List Table	
Sheet Number	Sheet Title
1 OF 7	COVER SHEET
2 OF 7	SITE PLAN
3 OF 7	LANDSCAPE PLAN
4 OF 7	GRADING AND DRAINAGE PLAN
5 OF 7	3D VIEWS
6 OF 7	EXTERIOR ELEVATIONS
7 OF 7	EXTERIOR ELEVATIONS

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
Gross Site Area	127848.6	100%
• Building Footprint	7207.0	6%
• Parking and Roads (including planted interior parking islands)	38010.6	30%
<b>HARDSCAPE TOTAL</b>	<b>44775.4</b>	<b>36%</b>
• Planting Area (if applicable, include parking lot islands used for stormwater detention and water quality ponds)	7211.7	6%
• Existing Vegetation	75861.5	58%
• Trails and Walks	0	0%
• Porous Pavement	0	0%
<b>LANDSCAPE TOTAL</b>	<b>83073.2</b>	<b>65%</b>

ITEM	DESCRIPTION
Building size: 1 Story	7207 sq. ft. TOTAL
Parking:	
• Required	0
• Provided	0

#### GENERAL NOTES:

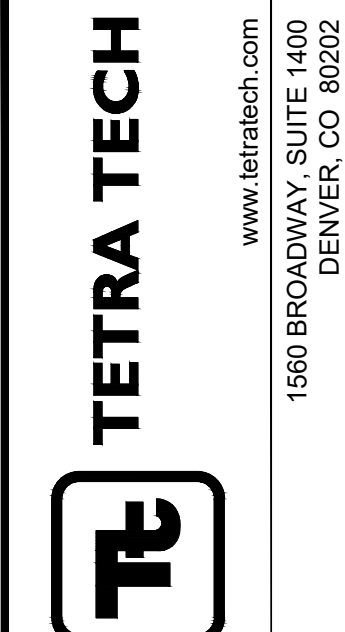
- OWNER WAIVES, REMISES AND RELEASES ANY RIGHT OR CAUSE OF ACTION IT MAY NOW HAVE OR WHICH IT MAY HAVE IN THE FUTURE AGAINST THE CITY, ITS OFFICERS, EMPLOYEES AND AGENTS RELATED TO OR RESULTING FROM THE PASSAGE OF AIRCRAFT UNDER THE AIRSPACE ABOVE THE PROPERTY THAT IS THE SUBJECT OF THE SITE IMPROVEMENT PLAN.
- THE CITY OF CASTLE PINES REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND. IN THE EVENT THE OWNER FAILS TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS INCLUDING BUT NOT LIMITED TO LABOR, EQUIPMENT AND MATERIALS SHALL BE ASSESSED TO THE PROPERTY OWNER.
- THE EASEMENT FOR THIS PROJECT IS OWNED BY PARKER WATER AND SANITATION DISTRICT. THE EASEMENT WAS RECORDED ON 03/19/2019 UNDER RECEPTION NUMBER 2019013815. THE LEGAL DESCRIPTION AS SHOWN ON THIS SHEET DESCRIBES THE EASEMENT.

#### PLANNING COMMISSION CERTIFICATE

THE LOCATION AND EXTENT PLAN, LE19-001 WAS APPROVED BY THE CITY OF CASTLE PINES PLANNING COMMISSION

ON \_\_\_\_\_, 2020.

PLANNING COMMISSION CHAIR \_\_\_\_\_ DATE \_\_\_\_\_



PRELIMINARY

NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
	12/03/19	ISSUED FOR CASTLE PINES REVIEW
	01/21/20	RESPONSE TO CASTLE PINES COMMENTS #1
	02/14/20	RESPONSE TO CASTLE PINES COMMENTS #2

PARKER WATER & SANITATION DISTRICT  
CANYONS WELL HOUSE DESIGN

COVER SHEET

PROJ: 200-133856-19001  
DESN: AJM  
DRWN: TK  
CHKD: MBS

1 OF 7



# CANYONS WELL HOUSE

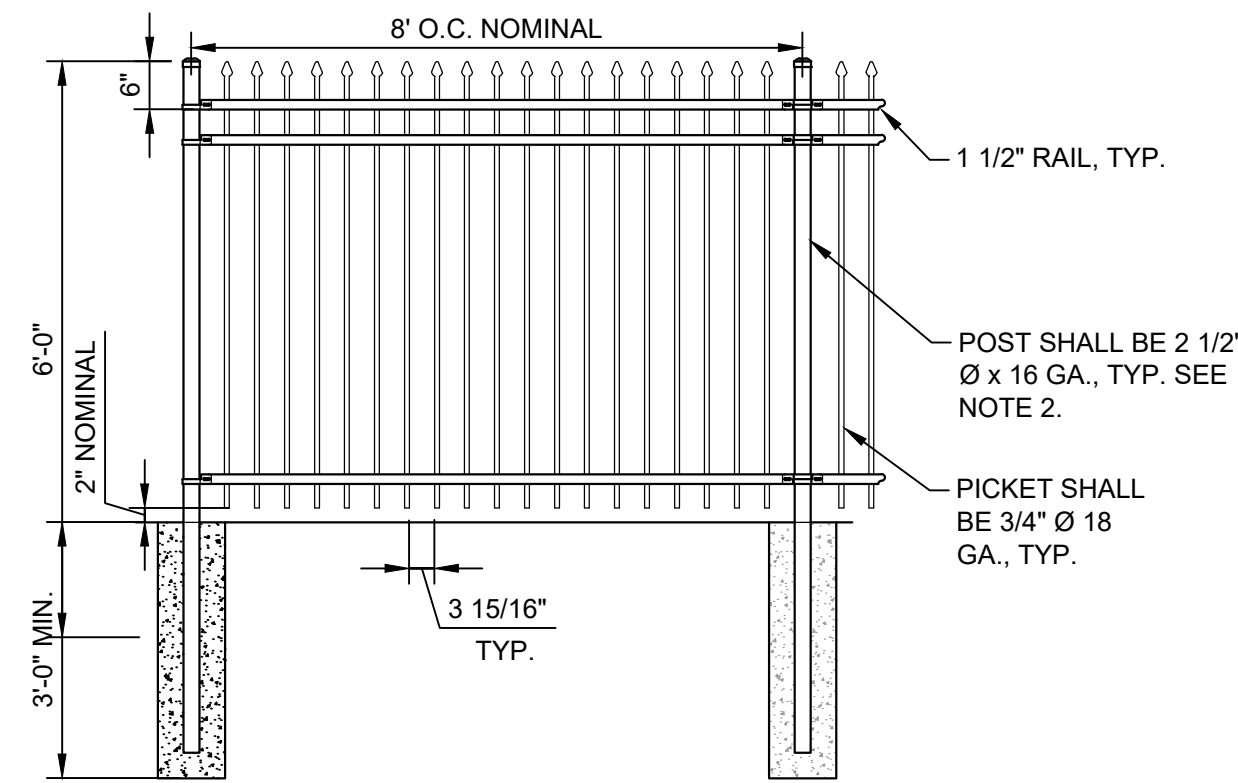
## THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND FILING NO. 2, PARCEL 10

### 2.935 ACRES

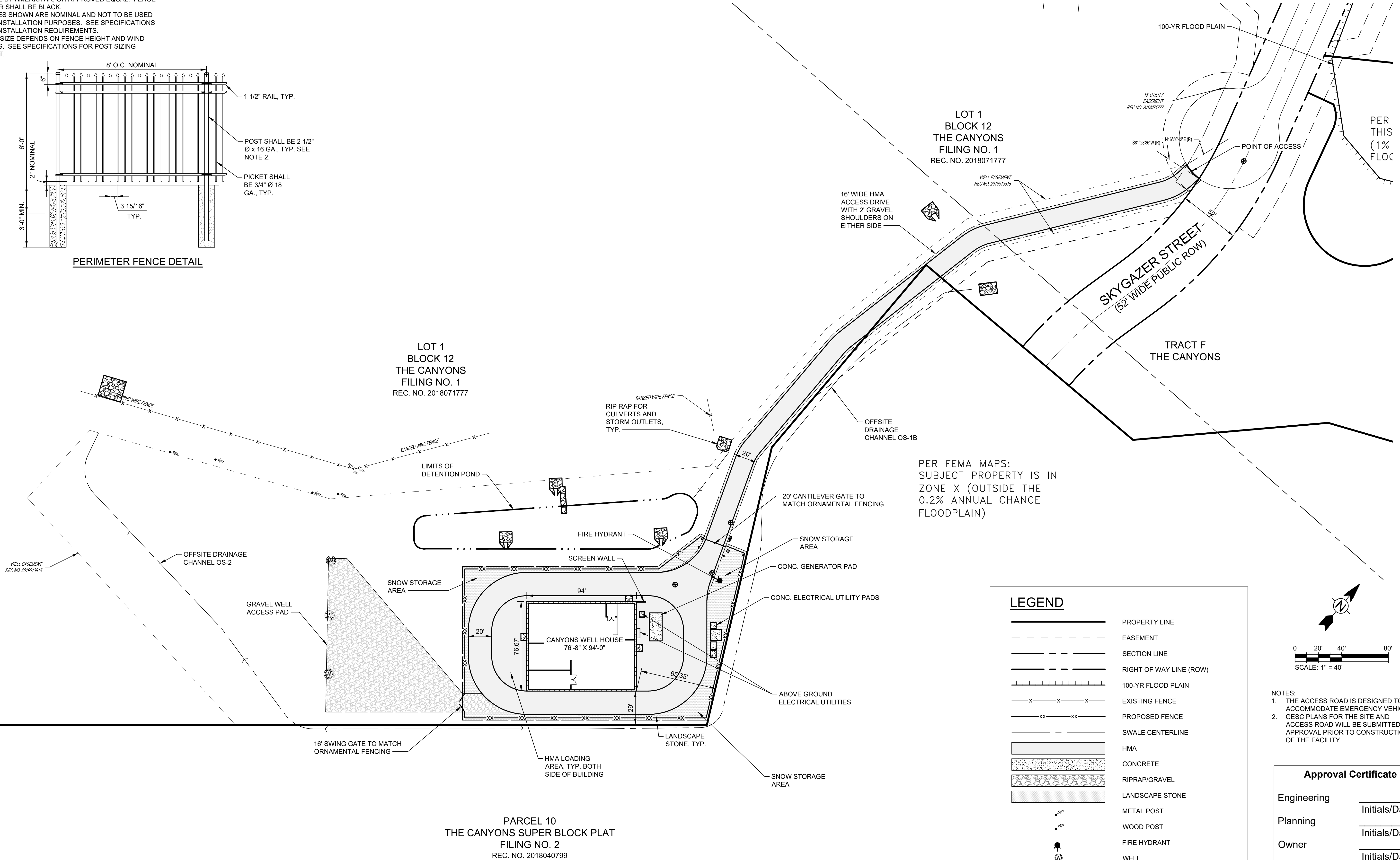
### LOCATION AND EXTENT - CASE NO. LE19-001

A PORTION OF LOT 1, BLOCK 12, THE CANYONS FILING NO. 1 AND PARCEL 10, THE CANYONS SUPER BLOCK PLAT FILING NO. 2, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

- NOTES:
- FENCE SHALL BE MONTAGE PLUS CLASSIC 3-RAIL FENCE BY AMERISTAR, OR APPROVED EQUAL. FENCE COLOR SHALL BE BLACK.
  - VALUES SHOWN ARE NOMINAL AND NOT TO BE USED FOR INSTALLATION PURPOSES. SEE SPECIFICATIONS FOR INSTALLATION REQUIREMENTS.
  - POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE SPECIFICATIONS FOR POST SIZING CHART.



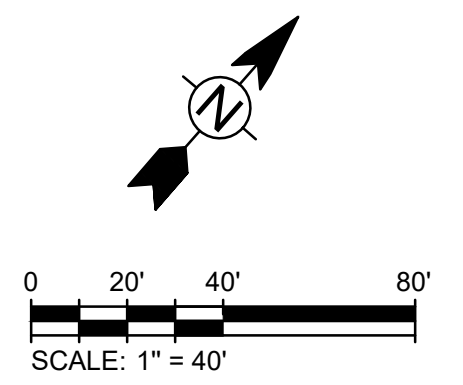
PERIMETER FENCE DETAIL



PER FEMA MAPS:  
SUBJECT PROPERTY IS IN  
ZONE X (OUTSIDE THE  
0.2% ANNUAL CHANCE  
FLOODPLAIN)

#### LEGEND

- PROPERTY LINE
- EASEMENT
- SECTION LINE
- RIGHT OF WAY LINE (ROW)
- 100-YR FLOOD PLAIN
- EXISTING FENCE
- PROPOSED FENCE
- SWALE CENTERLINE
- HMA
- CONCRETE
- RIPRAP/GRAVEL
- LANDSCAPE STONE
- METAL POST
- WOOD POST
- FIRE HYDRANT
- WELL



- NOTES:
- THE ACCESS ROAD IS DESIGNED TO ACCOMMODATE EMERGENCY VEHICLES.
  - GESC PLANS FOR THE SITE AND ACCESS ROAD WILL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION OF THE FACILITY.

#### Approval Certificate

Engineering	_____	Initials/Date
Planning	_____	Initials/Date
Owner	_____	Initials/Date



PRELIMINARY  
NOT FOR  
CONSTRUCTION

MARK	DATE	DESCRIPTION
	12/03/19	ISSUED FOR CASTLE PINES REVIEW
	01/21/20	RESPONSE TO CASTLE PINES COMMENTS #1
	02/14/20	RESPONSE TO CASTLE PINES COMMENTS #2

PARKER WATER & SANITATION DISTRICT  
CANYONS WELL HOUSE DESIGN  
**SITE PLAN**

PROJ: 200-133856-19001  
DESN: AJM  
DRWN: TK  
CHKD: MBS

# CANYONS WELL HOUSE

## THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND FILING NO. 2, PARCEL 10

### 2.935 ACRES

### LOCATION AND EXTENT - CASE NO. LE19-001

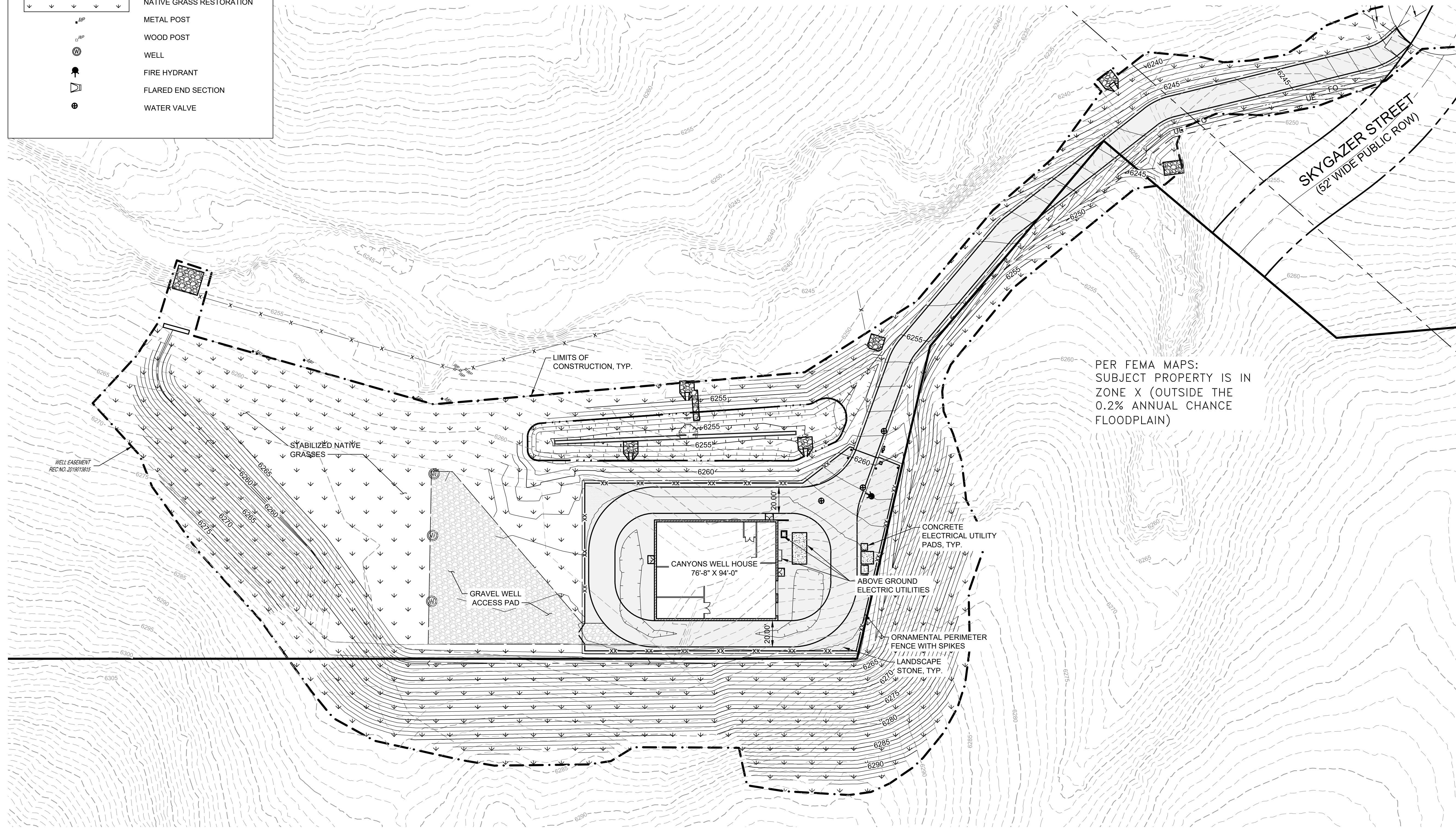
A PORTION OF LOT 1, BLOCK 12, THE CANYONS FILING NO. 1 AND PARCEL 10, THE CANYONS SUPER BLOCK PLAT FILING NO. 2, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

#### LEGEND

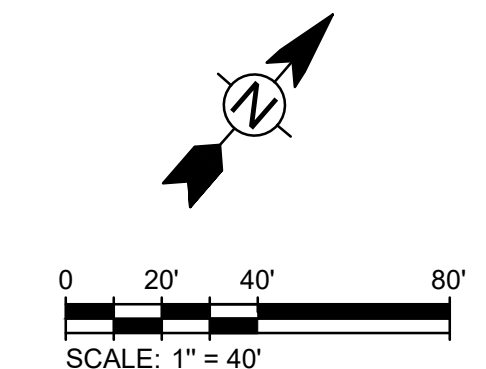
- 6550 EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- 6550 PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPERTY LINE
- EASEMENT
- SECTION LINE
- RIGHT OF WAY LINE (ROW)
- 100-YR FLOOD PLAIN
- EXISTING FENCE
- PROPOSED FENCE
- SWALE CENTERLINE
- HMA
- CONCRETE
- RIPRAP/GRAVEL
- LANDSCAPE STONE
- NATIVE GRASS RESTORATION
- METAL POST
- WOOD POST
- WELL
- FIRE HYDRANT
- FLARED END SECTION
- WATER VALVE

#### NOTES:

1. LANDSCAPING, CONSISTING OF NATIVE GRASSES, SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
2. IRRIGATION OF AREAS SEEDED WITH NATIVE GRASSES SHALL BE COMPLETED BY A WATER TRUCK 1-2 TIMES PER WEEK DURING THE FIRST GROWING SEASON.
3. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.



PER FEMA MAPS:  
SUBJECT PROPERTY IS IN  
ZONE X (OUTSIDE THE  
0.2% ANNUAL CHANCE  
FLOODPLAIN)



#### Approval Certificate

Engineering	Initials/Date
Planning	Initials/Date
Owner	Initials/Date

**TETRA TECH**  
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1560 BROADWAY, SUITE 1400  
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TEL: 303.825.5999 FAX: 303.825.0642

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PARKER WATER & SANITATION DISTRICT  
CANYONS WELL HOUSE DESIGN  
**LANDSCAPE PLAN**

PROJ:	200-133856-19001
DESN:	AJM
DRWN:	TK
CHKD:	MBS

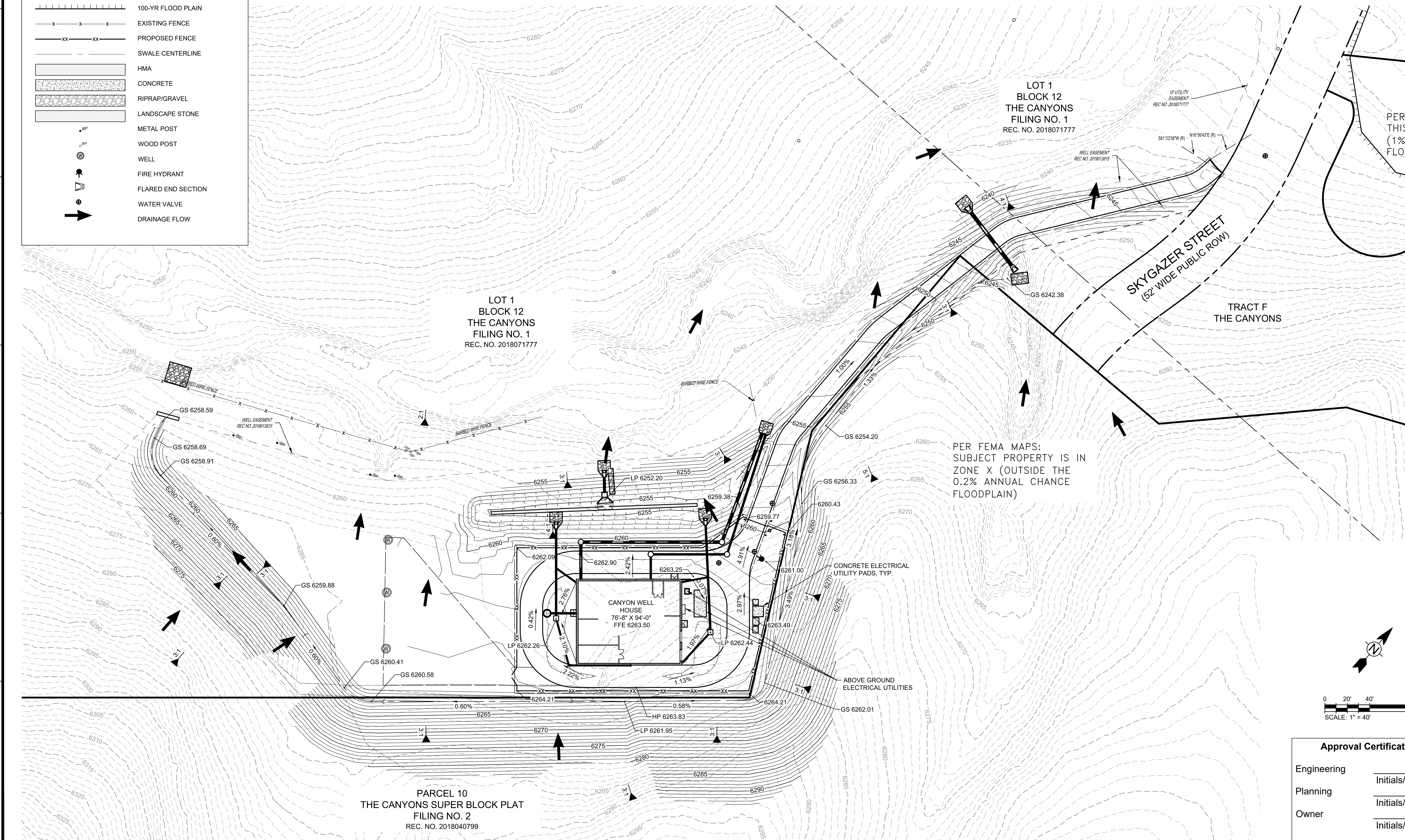
2/14/2020 4:11:27 PM - O:\PROJECTS\DENVER\133856\200-133856-19001\CAD\IS\HETFILES\SIP\CANYONS\3 LANDSCAPE PLAN DWG - MURDICK, AMY

**LEGEND**

- 6550 --- EXISTING CONTOUR MAJOR
- --- EXISTING CONTOUR MINOR
- 6550 — PROPOSED CONTOUR MAJOR
- --- — PROPOSED CONTOUR MINOR
- — — — — PROPERTY LINE
- - - - - EASEMENT
- - - - - SECTION LINE
- - - - - RIGHT OF WAY LINE (ROW)
- ||||| 100-YR FLOOD PLAIN
- x - x - x - EXISTING FENCE
- xx - xx - xx - PROPOSED FENCE
- ▬ SWALE CENTERLINE
- ▬ HMA
- ▬ CONCRETE
- ▬ RIPRAP/GRAVEL
- ▬ LANDSCAPE STONE
- M.P. METAL POST
- W.P. WOOD POST
- WELL
- FIRE HYDRANT
- FLARED END SECTION
- WATER VALVE
- ➔ DRAINAGE FLOW

**CANYONS WELL HOUSE**  
**THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND**  
**FILING NO. 2, PARCEL 10**  
**2.935 ACRES**  
**LOCATION AND EXTENT - CASE NO. LE19-001**

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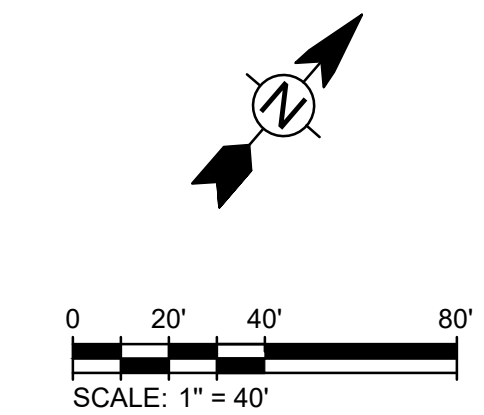


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PARKER WATER & SANITATION DISTRICT  
CANYONS WELL HOUSE DESIGN  
**GRADING AND DRAINAGE PLAN**



**Approval Certificate**

Engineering	Initials/Date
Planning	Initials/Date
Owner	Initials/Date

PROJ:	200-133856-19001
DESN:	AJM
DRWN:	TK
CHKD:	MBS

**4 OF 7**

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Bar Measures 1 inch, otherwise drawing not to scale

**CANYONS WELL HOUSE**  
**THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND**  
**FILING NO. 2, PARCEL 10**  
**2.935 ACRES**  
**LOCATION AND EXTENT - CASE NO. LE19-001**

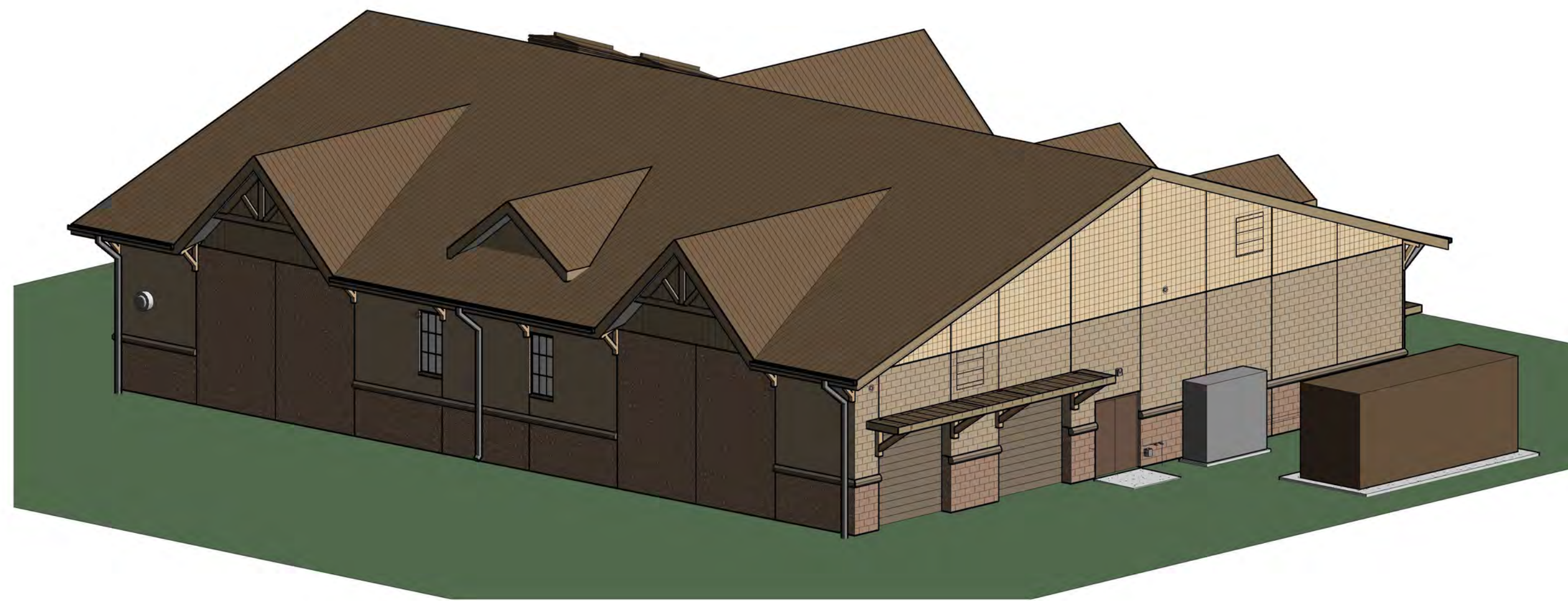
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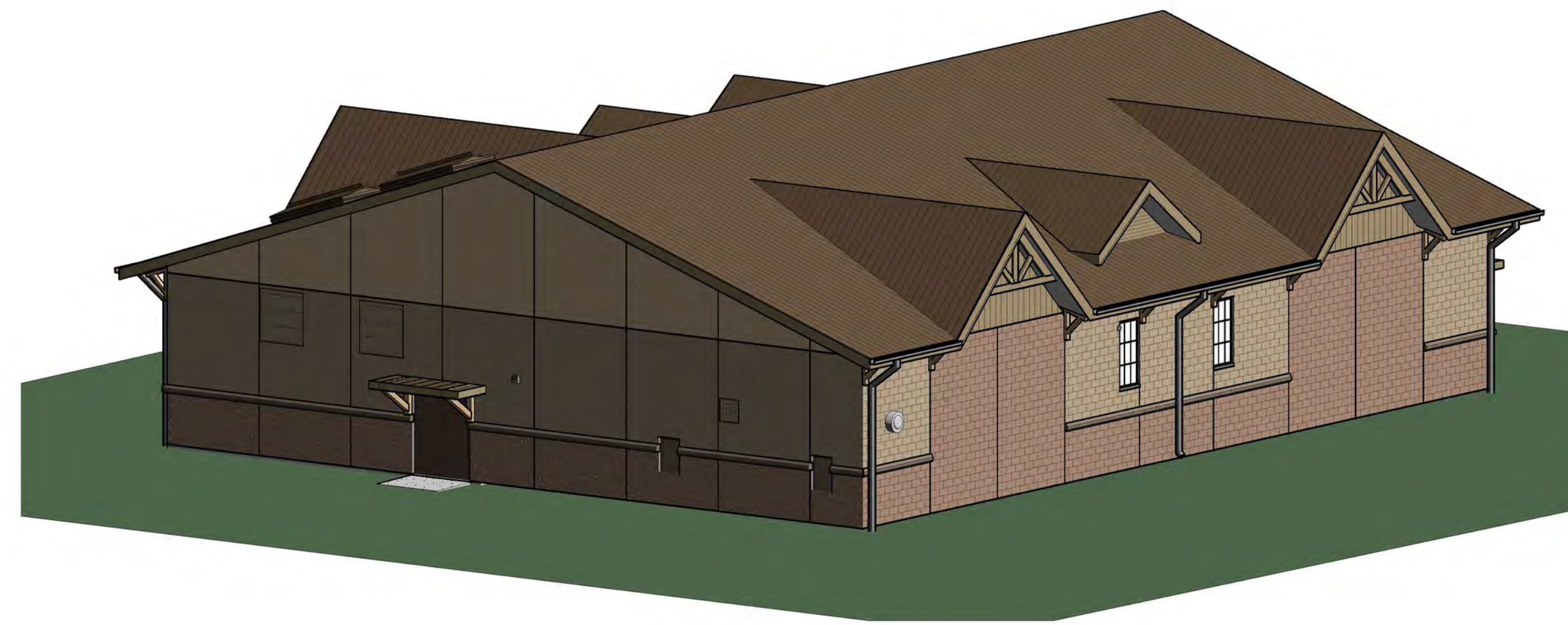
**1** **NORTHEAST PERSPECTIVE**  
 A-110 SCALE: NOT TO SCALE



**2** **NORTHWEST PERSPECTIVE**  
 A-110 SCALE: NOT TO SCALE



**3** **SOUTHEAST PERSPECTIVE**  
 A-110 SCALE: NOT TO SCALE



**4** **SOUTHWEST PERSPECTIVE**  
 A-110 SCALE: NOT TO SCALE

CANYONS COLOR MATERIAL LEGEND	
<b>EXTERIOR</b>	
PC-1:	PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - SPLIT FACE TEXTURE - MATCH BEST BLOCK #136 MEADOWS
PC-2:	PRE-CAST CONC. PANEL - COLOR MATCH SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE
PC-3:	PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #329 SEQUOIA
PC-4:	PRE-CAST CONC. PANEL W/ CMU 8X8 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #5447
DOORS AND FRAMES: SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE	
STANDING SEAM METAL ROOF: BERRIDGE MEDIUM BRONZE	
ROOF FLASHING AND METAL VERTICAL STANDING SEAM SIDING: BERRIDGE SIERRA TAN	



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PRELIMINARY

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PARKER WATER & SANITATION DISTRICT  
 CANYONS WELL HOUSE DESIGN  
 3D VIEWS

Approval Certificate	
Engineering	_____/_____/_____ Initials/Date
Planning	_____/_____/_____ Initials/Date
Owner	_____/_____/_____ Initials/Date

PROJ: 200-133856-19001  
 DESN:  
 DRWN:  
 CHKD:

**5 OF 7**

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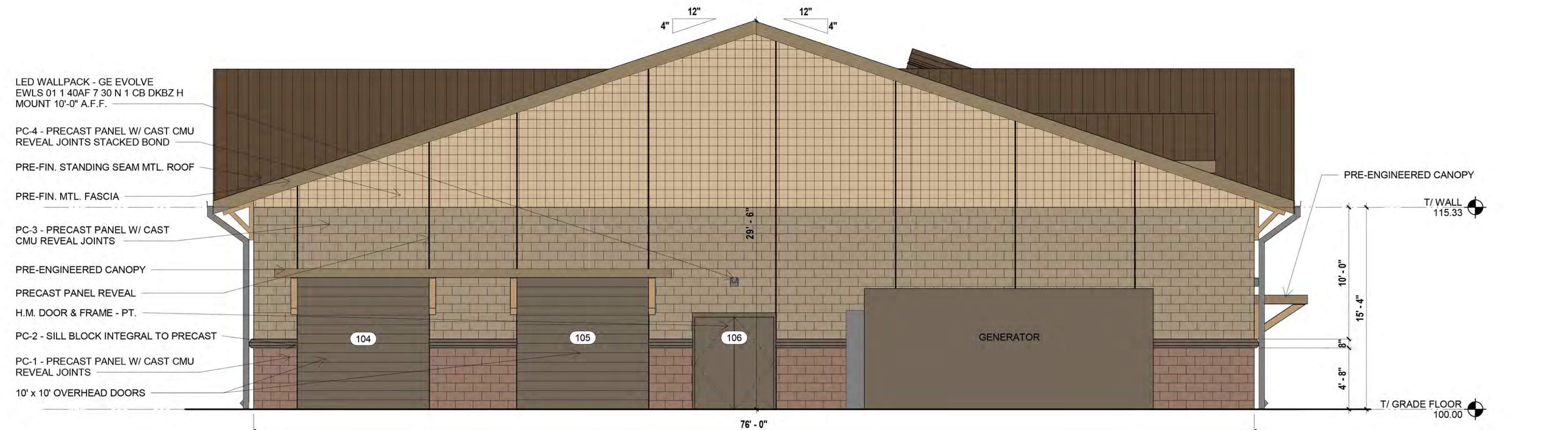
**CANYONS WELL HOUSE**  
**THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND**  
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**2.935 ACRES**  
**LOCATION AND EXTENT - CASE NO. LE19-001**

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PRELIMINARY

NOT FOR CONSTRUCTION



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**CANYONS COLOR MATERIAL LEGEND**

**EXTERIOR**

PC-1: PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - SPLIT FACE TEXTURE - MATCH BEST BLOCK #136 MEADOWS

PC-2: PRE-CAST CONC. PANEL - COLOR MATCH SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE

PC-3: PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #329 SEQUOIA

PC-4: PRE-CAST CONC. PANEL W/ CMU 8X8 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #5447

DOORS AND FRAMES: SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE

STANDING SEAM METAL ROOF: BERRIDGE MEDIUM BRONZE

ROOF FLASHING AND METAL VERTICAL STANDING SEAM SIDING: BERRIDGE SIERRA TAN

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PARKER WATER & SANITATION DISTRICT  
CANYONS WELL HOUSE DESIGN  
**EXTERIOR ELEVATIONS**

**Approval Certificate**

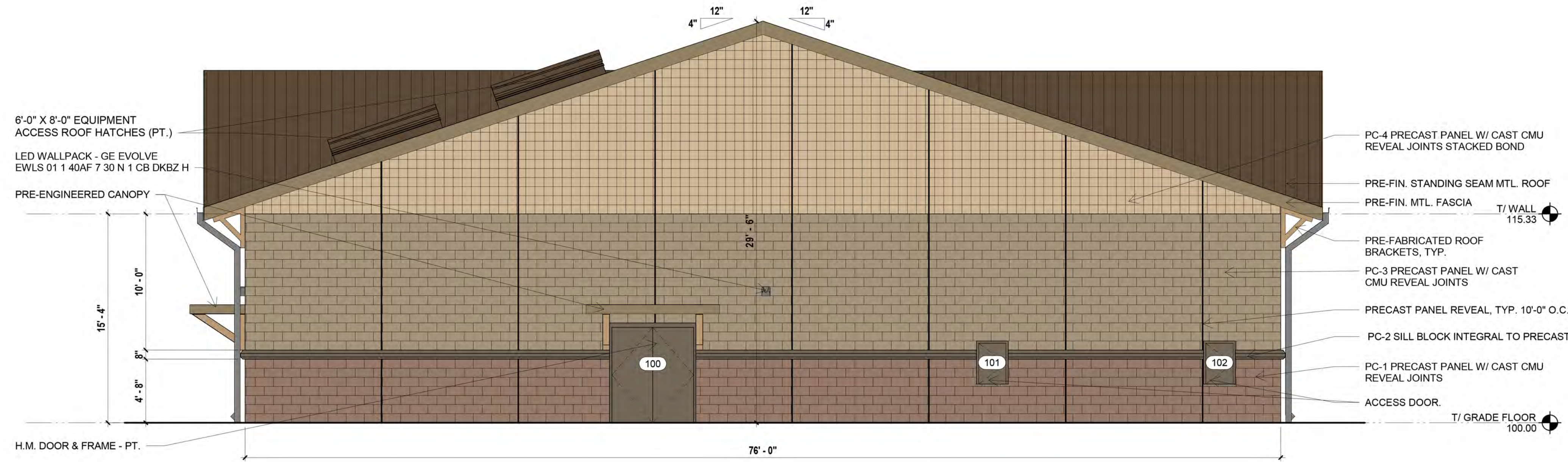
Engineering	_____	Initials/Date
Planning	_____	Initials/Date
Owner	_____	Initials/Date

PROJ:	200-133856-19001
DESN:	M.R.
DRWN:	M.R.
CHKD:	L.H.

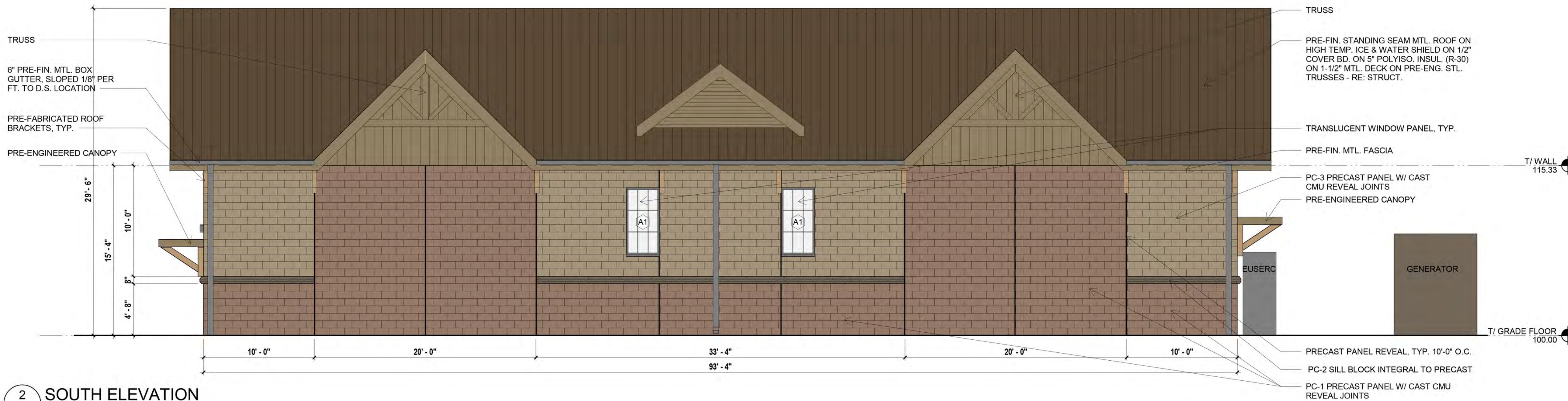
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**CANYONS WELL HOUSE**  
**THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND**  
**FILING NO. 2, PARCEL 10**  
**2.935 ACRES**  
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**1 WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**2 SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

**CANYONS COLOR MATERIAL LEGEND**

- EXTERIOR**
- PC-1: PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - SPLIT FACE TEXTURE - MATCH BEST BLOCK #136 MEADOWS
  - PC-2: PRE-CAST CONC. PANEL - COLOR MATCH SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE
  - PC-3: PRE-CAST CONC. PANEL W/ CMU 8X16 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #329 SEQUOIA
  - PC-4: PRE-CAST CONC. PANEL W/ CMU 8X8 REVEAL JOINT - GROUND FACE TEXTURE - MATCH BEST BLOCK #5447
- DOORS AND FRAMES: SHERWIN WILLIAMS SW 7033 BRAINSTORM BRONZE
- STANDING SEAM METAL ROOF: BERRIDGE MEDIUM BRONZE
- ROOF FLASHING AND METAL VERTICAL STANDING SEAM SIDING: BERRIDGE SIERRA TAN

**Approval Certificate**

Engineering	_____	Initials/Date
Planning	_____	Initials/Date
Owner	_____	Initials/Date

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PARKER WATER & SANITATION DISTRICT  
 CANYONS WELL HOUSE DESIGN  
**EXTERIOR ELEVATIONS**

PROJ:	200-133856-19001
DESN:	M.R.
DRWN:	M.R.
CHKD:	L.H.

11/22/2019 2:05:08 PM - P:\19018-FWSD WELL HOUSES\DWG\CAD\G-BS-24X36VT\_SIP-C.DWG - MICHELLE RUBIO

**Exhibit A(iii): The Canyons Well House Color and Material Board**

**CANYONS WELL HOUSE**  
**THE CANYONS, FILING NO. 1, LOT 1 BLOCK 12 AND**  
**FILING NO. 2, PARCEL 10**  
**2.935 ACRES**  
**LOCATION AND EXTENT - CASE NO. LE19-001**

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PC-1 : PRE-CAST CONC. PANEL WITH CMU 8 X 16  
 REVEAL JOINT - SPLIT FACE TEXTURE  
 MATCH BEST BLOCK # 136 MEADOWS



PC-3 : PRE-CAST CONC. PANEL WITH CMU 8 X 16  
 REVEAL JOINT - GROUND FACE TEXTURE  
 MATCH BEST BLOCK # 329 SEQUOIA



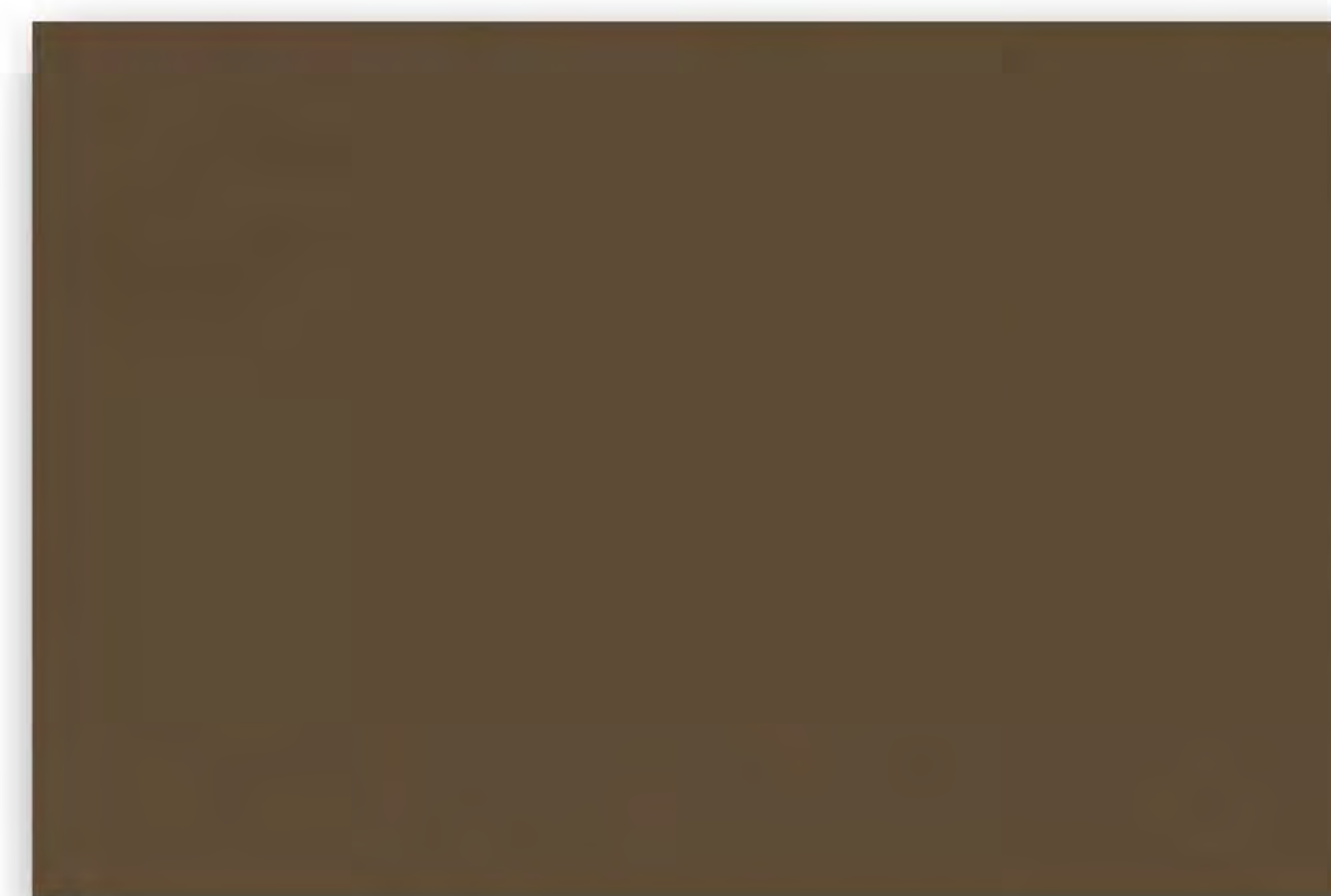
PC-4 : PRE-CAST CONC. PANEL WITH CMU 8 X 8  
 REVEAL JOINT - GROUND FACE TEXTURE  
 MATCH BEST BLOCK #5447



ROOF FLASHING AND METAL VERTICAL STANDING SEAM SIDING:  
 BERRIDGE SIERRA TAN



PC-2: PRE-CAST CONC. PANEL, DOORS & FRAMES:  
 COLOR MATCH SHERWIN WILLIAMS SW 7033  
 BRAINSTORM BRONZE



STANDING SEAM METAL ROOF:  
 BERRIDGE MEDIUM BRONZE

NOTE: The paint colors and materials represented are approximations and are not to be considered exact matches. Final color and material appearance may vary based on environmental conditions. Final color selection and placement is the responsibility of the property owner or the owner's agent.

Approval Certificate	
Engineering	_____ / _____
Planning	_____ / _____
Owner	_____ / _____

PRELIMINARY

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PARKER WATER & SANITATION DISTRICT  
 CANYONS WELL HOUSE DESIGN  
**COLORS AND MATERIALS BOARD**

PROJ: 200-133856-19001  
 DESN:  
 DRWN:  
 CHKD:



SECTION 30 LIGHTING STANDARDS

-Section Contents-

3001 Intent..... 30-2  
3002 Applicability..... 30-2  
3003 Exceptions ..... 30-2  
3004 Prohibited Lighting ..... 30-2  
3005 General Requirements..... 30-3  
3006 Sign Lighting ..... 30-6  
3007 Lighting Plan Requirements..... 30-6  
3008 Definitions ..... 30-7

### 3001 Intent

To set forth lighting standards for outdoor uses that serve to create a safe and comfortable nighttime environment, while protecting the public's ability to view the night sky. These lighting standards are designed to ensure personal safety and prevent motor vehicle and pedestrian conflicts by reducing the negative effects of glare, light pollution and light trespass.

### 3002 Applicability and Nonconforming Uses

3002.01 The outdoor lighting regulations contained herein shall apply to all exterior lighting and to interior lighting to the extent that it impacts the outdoor environment, including lighted signs but excluding public roadway lighting.

3002.02 Any single family residential lighting which was lawful before this Ordinance was adopted or amended may continue to exist, even though the lighting would be prohibited, regulated, or restricted under the provisions of the Ordinance or amendments, subject to the following provisions:

3002.02.01 Such nonconforming lighting use shall not be enlarged, expanded, extended, increased, or moved.

3003.02.02 If any nonconforming lighting is damaged, destroyed, altered, repaired or in need of replacement for any reason, the subsequent lighting shall conform to the provisions of this Ordinance and as thereafter amended.

### 3003 Exceptions

3003.01 Lighting required by the FAA for air traffic control and warning purposes.

3003.02 Lighting in the public right-of-way installed by the controlling jurisdiction.

3003.03 Lighting required temporarily for emergency purposes or repairs in the right-of-way, which must comply with applicable State regulations.

3003.04 Temporary use of low-wattage lighting for public festivals or events, and the observance of holidays provided they do not create disability glare.

3003.06 Lighting installed by a governmental entity for the benefit of public health, safety, and welfare.

### 3004 Prohibited Lighting

3004.01 Blinking, flashing or changing intensity lights including those proposed for signage.

- 3004.02 Lighting that could be confused with a traffic control device.
- 3004.03 Lighting of a type, style or intensity determined to interfere with the safe flow of traffic.
- 3004.04 Strobe lights, searchlights, beacons and laser light, or similar upward or outward oriented lighting.
- 3004.05 Exposed neon, exposed LED, or similar exposed lighting.
- 3004.06 Lighting creating a public hazard, including lighting that creates disability glare particularly where such disability glare has a detrimental effect on motor vehicle traffic.
- 3004.07 Lights mounted on poles for the purpose of illuminating the building façade.
- 3004.08 High-intensity floodlighting except as approved for sports facility lighting.
- 3004.09 Wall pack light fixtures that are not classified as full cutoff.

### 3005 General Requirements

Outdoor lighting shall meet the following standards:

- 3005.01 Light fixtures, except as otherwise permitted herein, are required to be full cutoff as defined by the Illuminating Engineers Society of North America (IESNA). Full cutoff light fixtures result in a light distribution pattern where no light is permitted at or above a horizontal plane at the bottom of the fixture.
- 3005.02 Light fixtures shall be installed and maintained in a manner consistent with the intended application and as approved in the Site Improvement Plan (SIP). Full cut-off fixtures may not be tilted or aimed in a manner that results in light distribution above the horizontal plane.
- 3005.03 Light fixtures associated with canopies, including but not limited to fuel islands, seasonal outdoor sales areas, shopping malls, theaters, bank drive-thrus, and hotels shall be full cutoff or mounted so that the bottom of the lens is recessed or flush with the bottom surface of the canopy. All light emitted from the canopy shall be substantially confined to the ground directly beneath the perimeter of the canopy. No lighting of any kind, except as permitted by sign regulations, shall be allowed on the top or sides of a canopy. The design of the canopy in terms of height above grade, and the spacing between the fixtures within the canopy, shall be such that the illuminance level under the canopy does not exceed 20 foot-candles.

- 3005.04 All light fixtures mounted within 15' of any residential property line of the site shall be classified as IES Type II or Type III, or fixture demonstrated to provide similar distribution patterns and shielding properties. Fixtures shall be fitted with "house side shield" reflectors on the sides facing the residential property line. Light levels shall not exceed 0.1 foot-candles 20' from the abutting property line as a direct result of the on-site lighting.
- 3005.05 Illuminance levels shall not exceed 10 foot-candles measured as initial horizontal illuminance except as otherwise permitted herein. The initial illuminance level is measured following 100 hours of operation. The illuminance levels at building entrances and windows may exceed 10 foot-candles by 100% up to a distance of 5 feet from the building only in order to accommodate light spillage from within the building and light from signage. At a distance of 10' from the building or use, the illuminance level must be less than or equal to 10 foot-candles.
- 3005.06 The use of horizontal lamps is recommended for pole mounted light fixtures in parking lots. If the lamp position within a fixture is vertical, any or all of the following may be required:
- A high socket mount
  - A translucent fixture lens
  - An opaque coating or shield on a portion of the lens perimeter
  - Other industry accepted measures
- 3005.07 Poles supporting light fixtures designed to illuminate parking areas and drive entrances shall be round unless an alternative is shown to be architecturally superior. The protective pole standard may not exceed a height of 30" from grade. If the pole is otherwise protected within a parking island or an intervening curb or walkway, no standard is required. Maximum parking lot pole height shall be as follows:
- 3005.07.1 24' when fixture is located within 75' of the site's boundary; and
- 3005.07.2 40' when the fixture is located beyond 75' from the site's boundary provided that for mounting heights in excess of 24', the distance of the fixture to the site's boundary be not less than three times the mounting height.
- 3005.08 A maximum of two light fixtures per pole is recommended for parking lots except for perimeter lighting, which should be limited to one fixture per pole. The fixtures shall not incorporate "basket" features or similar design elements that could deflect light horizontally or upward. Perimeter lighting must be classified by IES as Type II, or Type III, or a fixture demonstrated to provide similar distribution patterns and shielding properties.

3005.09 The use of semi-cutoff or cutoff (as opposed to full cutoff) fixtures shall be permitted to illuminate areas other than parking lots provided the pole or mounting point is no more than 10' in height and the maximum lumen output does not exceed 1800 lumens per lamp. The poles should be round unless an alternative is shown to be architecturally superior. A maximum of 1 lamp per fixture and 2 fixtures per pole or mounting point is strongly encouraged.

Fixtures located on poles or at mounting points more than 10' in height, or that exceed 1800 lumens per lamp, shall be full cutoff fixtures.

3005.10 Bollards, or similar light fixtures that do not exceed 4 feet in height, intended to illuminate landscape features or walkways, may be permitted as part of the overall lighting plan upon approval of the SIP. Lamps shall not exceed 900 lumens for any single lamp. A maximum of 2 fixtures per bollard and 1 lamp per fixture is recommended.

3005.11 All lights, except those required for security as provided herein, shall be reduced to security levels within one hour after the end of business until one hour prior to the commencement of business. Security lighting at entrances, stairways and loading docks, as well as limited parking lot lighting, is permitted. The use of motion sensors for security lighting is strongly encouraged. Security lighting shall comply with all applicable provisions contained herein and may not exceed the maximum foot-candle level permitted on the site.

3005.12 All stadium and all other exterior sports arena lights used for the purpose of illuminance of the playing area shall be turned off following the conclusion of the final event of the night. The remainder of the facility lighting, except for reasons of security, shall be turned off within one hour after the event, and remain extinguished until one hour prior to the commencement of the next event.

3005.13 All signage lighting shall be turned off within one hour of the end of business and remain turned off until one hour prior to commencement of business. Verification of the ability to control the signage lighting shall be required as part of the sign permit application.

3005.14 Illuminance of a building façade to enhance architectural features may be permitted provided it is approved on the SIP. Downlighting is preferred provided wall-mounted fixtures are used and illuminance is contained completely within the vertical face of the building and does not spill off the building edge. Uplighting may be permitted provided no illuminance escapes the façade. Building facades may be illuminated to a maximum of 20 foot-candles as measured on the façade. Lights mounted on poles for the purpose of illuminating the building façade are not permitted.

- 3005.15 All outdoor light fixtures should utilize one of the following lamp types: metal halide, induction lamp, compact fluorescent, incandescent (including tungsten-halogen), or high-pressure sodium. Alternatives are permitted provided they are demonstrated to be more effective for the proposed use based on IESNA recommendations.
- 3005.16 Lighting in single-family residential areas shall be limited to 2400 lumens per fixture and shielded. Lighting used for security purposes shall be shielded and placed on motion sensors.
- 3005.17 Illumination of a flag on a flagpole is permitted provided a narrow spread 39-watt par metal halide or 50-watt par-halogen lamp, or an equivalent lamp with a similar narrow spread, is used and aimed to only illuminate the top of the flagpole. The source of illuminance (lamp) must be shielded in a manner so as not to be visible from adjacent property.
- 3005.18 The source of illuminance (lamp) from any fixture, including interior fixtures visible through windows, shall not create disability glare on adjacent properties.

### 3006 Sign Lighting

All signage must comply with Section 29, contained herein. Signs may be internally illuminated, backlit or illuminated by down lighting or by ground-mounted light fixtures that illuminate the sign face and base only. Once the ground-mounted light fixtures are positioned and aimed in accordance with these requirements, they shall be permanently secured to prevent inadvertent or accidental misalignment.

Illuminance of the sign face by ground mounted light fixtures shall not exceed 50 foot-candles as measured on the sign face. It is suggested that the design of internally illuminated cabinet signs consist of lighter lettering on a darker background in order to maximize visibility. Internally illuminated signs shall be limited to a maximum of 1,000 nits. No sign may be illuminated with fixtures that allow for the unshielded upward transmission of light.

### 3007 Lighting Plan Requirements

Any use or change in use requiring SIP or Use By Special Review (USR) approval shall comply with the provisions contained herein. If there is an aspect of the proposed use that may warrant an adjustment to the lighting levels specified herein, the Review Board Manager shall determine the maximum illuminance levels based on IESNA recommendations and project location. The City may seek assistance from a professional lighting engineer to evaluate lighting plans and proposed equivalents. The applicant shall pay costs associated with such a review. Compliance with the approved lighting plan shall be determined following a site inspection that includes field verification of light levels. A lighting plan shall include the following:

- 3007.01 A narrative describing how the design of the proposed lighting including the fixture types, mounting heights, lamp types, locations, illuminance levels, controls, and sign lighting complies with the intent of the context and the regulations contained herein.
- 3007.02 Identification of all light fixture locations including whether they are pole-, ground- or building-mounted. The location of the light fixtures shall also be shown on the Landscape Plan in accordance with Section 27 contained herein.
- 3007.03 Description of the type of each light fixture along with the initial lamp lumen rating and wattage of each lamp, and any associated or required shielding. A copy of the manufacturers catalog sheet, product number and IESNA type description shall be required along with an elevation of the poles and fixtures, and position of the lamp within the fixture.
- 3007.04 Description of light-level-reduction controls for each fixture or grouping of fixtures, and resulting after-hours light levels.
- 3007.05 Maximum outdoor illuminance levels shall include signage lighting and light spillage from within a building; the impact of this illuminance shall be described in the lighting plan narrative.
- 3007.06 A photometric plan shall be required unless waived at the presubmittal meeting. The photometric plan shall exhibit the initial illuminance level calculated at 100 hours of operation and shall be shown on a maximum of a 10' grid.

### 3008 Definitions

- 3008.01 Bollards: Light fixtures (luminaries) having the appearance of a short, thick post, used for walkway and grounds lighting. The optical components are usually top mounted.
- 3008.02 Cutoff: A luminaire light distribution where the candela does not exceed 10% at a vertical angle of 80 degrees above nadir.
- 3008.03 Disability Glare: The effect of stray light in the eye whereby visibility and visual performance are reduced. For purposes of this Ordinance, glare exceeding 2,500 nits is considered to be disability glare.
- 3008.04 Foot Candle: A quantitative unit of measure for luminance equal to one lumen per square foot measured at ground level.
- 3008.05 Full Cutoff: A luminaire light distribution where zero candela intensity occurs at an angle of 90 degrees above nadir, and at all greater angles from nadir.

- 3008.06 Glare: The effect produced by a light source within the visual field that is sufficiently brighter than the level to which the eyes are adapted, to cause annoyance, discomfort or loss of visual performance and ability.
- 3008.07 Horizontal Illuminance: The measurement of brightness from a light source, usually measured in foot-candles or lumens, which is taken through a light meter's sensor at a horizontal position at grade in outdoor applications.
- 3008.08 IESNA: The Illuminating Engineering Society of North America, a non-profit professional organization of lighting specialists that has established recommended design standards for various lighting applications.
- 3008.09 Illuminance: The area density of the luminous flux incident at a point on the surface. It is a measure of light incident on a surface, expressed in lux or foot-candles.
- 3008.10 Light Fixture (luminaire): A complete lighting unit consisting of a lamp or lamps and ballasting (when applicable) together with the parts designed to distribute the light, to position and protect the lamps, and to connect the lamps to the power supply.
- 3008.11 Light Trespass: Light from an artificial light source that is intruding into an area where it is not wanted or does not belong.
- 3008.12 Lumen: A quantitative unit measuring the amount of light emitted by a light source.
- 3008.13 Luminance: The quotient of the luminous flux at an element of the surface surrounding the point and propagated in directions defined by an elementary cone containing the given direction. It is a measure of light emission.
- 3008.14 Maintained Foot-Candles: Illuminance of lighting fixtures adjusted for a maintenance factor accounting for loss of efficiency, dirt build-up and lamp output depreciation.
- 3008.15 Non-cutoff: A luminaire light distribution where there is no limitation on candela intensity above nadir.
- 3008.16 Nits: A unit of measure used for lighting expressed as candelas per square meter.
- 3008.17 Semi-cutoff: A luminaire light distribution where the candela does not exceed 20% at a vertical angle of 80 degrees above nadir.
- 3008.18 Uplighting: Any light source that distributes illumination above a 90-degree horizontal plane.



3008.19 Wall pack: A type of light fixture typically flush-mounted on a vertical wall surface.



## **City Council Communication Form Action Item**

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**To:** Mayor Radloff and Members of City Council

**From:** Tobi Basile, City Clerk

**Date:** February 27, 2020

**Item:** General Business - Amending Section 30 -- Lighting Standards of the City of Castle Pines Zoning Ordinance

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**Policy Question:**

**Background:**

**Staff Recommendation:**

**Proposed Motion:**

**Staff Analysis:**

**Attachments:**